

<b>Committee Date</b>	19 <sup>th</sup> May 2022	
<b>Address</b>	49 Priory Avenue Petts Wood Orpington BR5 1JE	
<b>Application Number</b>	21/04669/FULL6	<b>Officer</b> - Lawrence Stannard
<b>Ward</b>	Petts Wood and Knoll	
<b>Proposal</b>	Single storey rear extension with patio/steps and first floor rear extension	
<b>Applicant</b>	<b>Agent</b>	
Mr Carlos Silva		
49 Priory Avenue Petts Wood Orpington BR5 1JE		
<b>Reason for referral to committee</b>	Side Space	<b>Councillor call in</b>  No

<b>RECOMMENDATION</b>	Permission
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<p><b>KEY DESIGNATIONS</b></p> <p>Article 4 Direction Petts Wood Area of Special Residential Character Biggin Hill Safeguarding Area London City Airport Safeguarding Smoke Control SCA 4</p>
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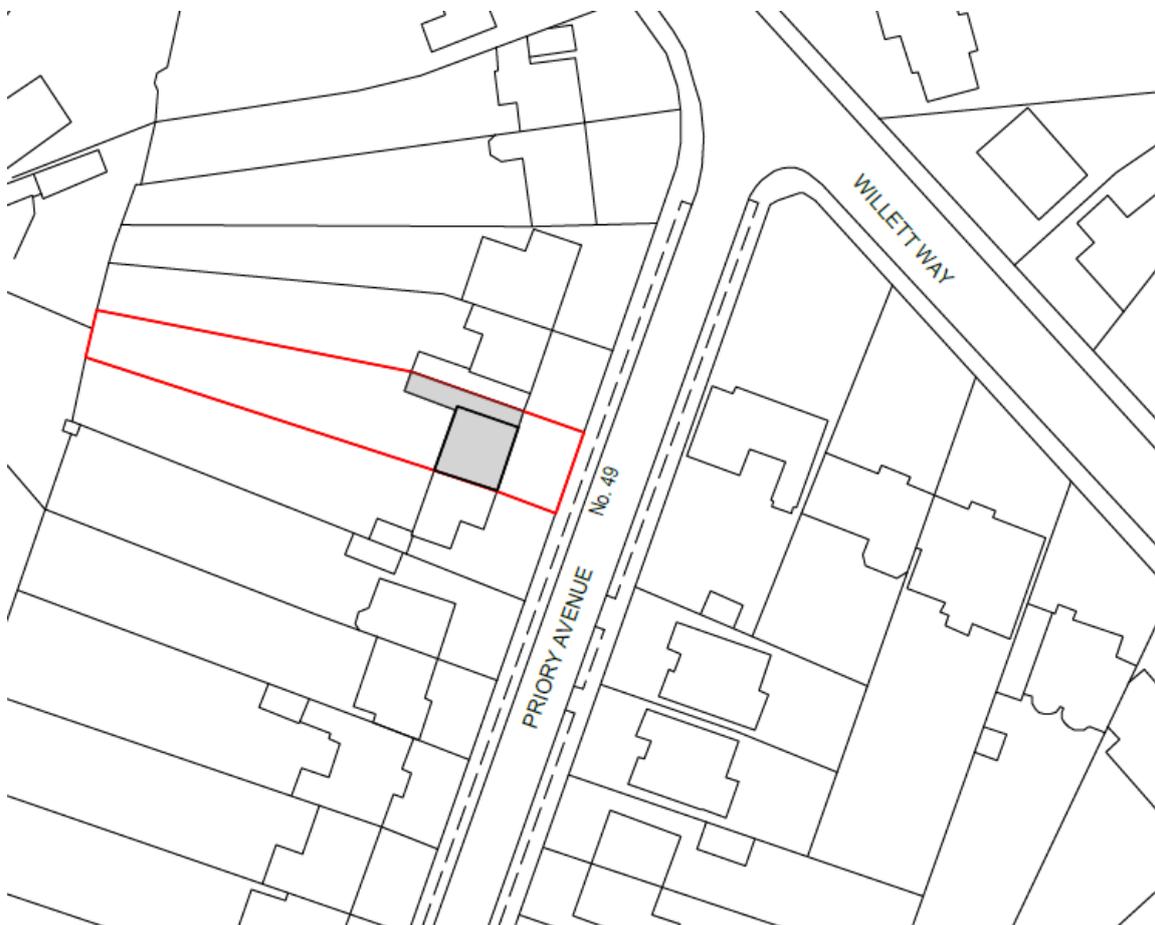
<b>Representation summary</b>	<ul style="list-style-type: none"> <li>Neighbour notification letters were sent on the 31<sup>st</sup> October 2021.</li> </ul>
Total number of responses	2
Number in support	0
Number of objections	2

## 1 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would not result in a harmful impact on the character of the Petts Wood Area of Special Residential Character (ASRC).
- The development would not result in a harmful impact on the appearance of the host dwelling.
- The development would not adversely affect the amenities of neighbouring residential properties.

## 2 LOCATION

- 2.1 The application site hosts a two storey semi-detached dwelling located on the western side of Priory Avenue.
- 2.2 The site lies within the Petts Wood Area of Special Residential Character.

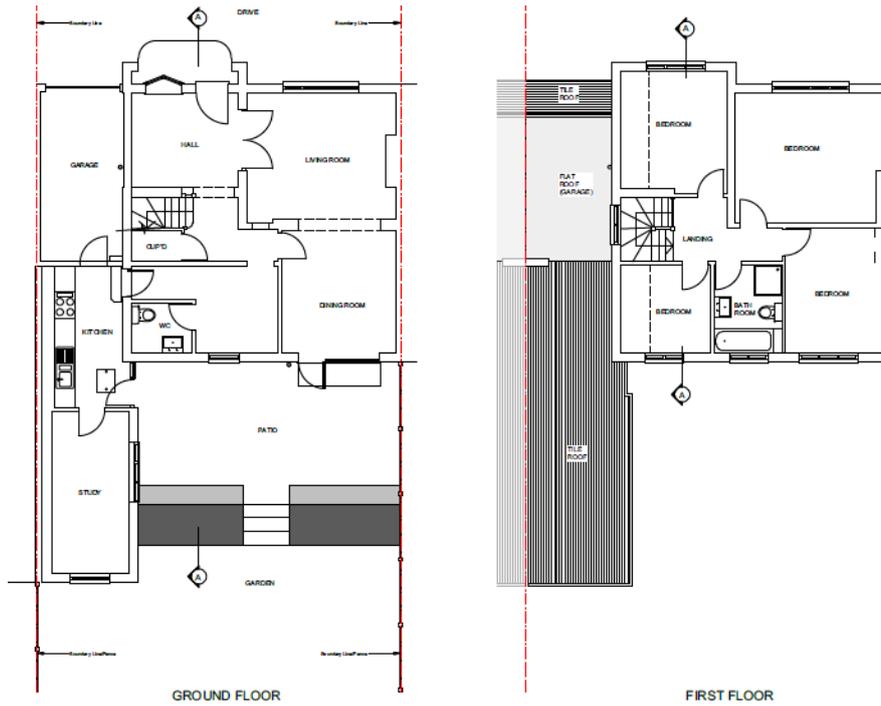


**Figure 1: Site Location Plan**

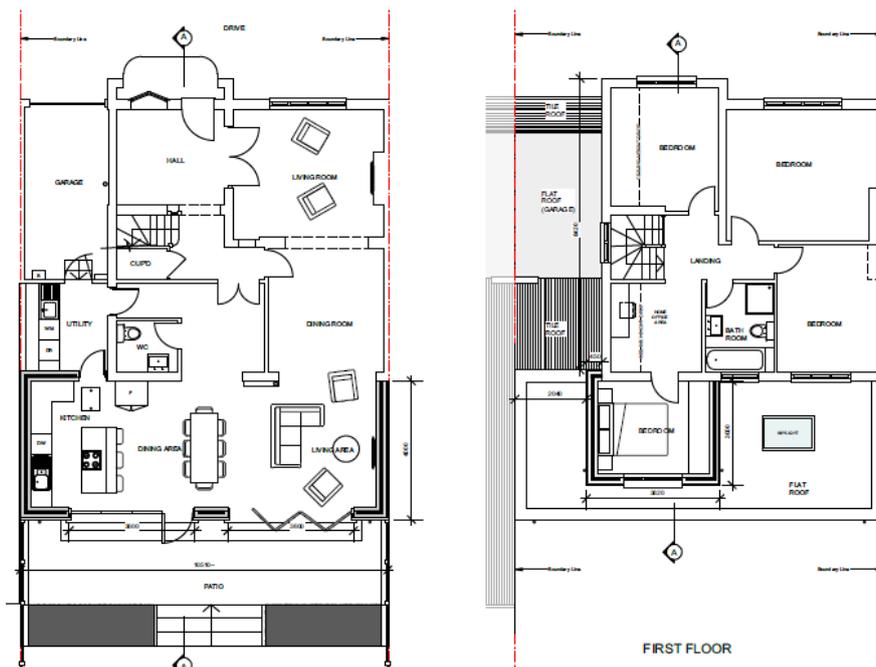
## 3 PROPOSAL

- 3.1 The application seeks permission for the erection of a single storey rear extension with patio/steps to rear, and the addition of a first floor rear extension

- 3.2 The single storey rear extension would project would project 4m deep for the full width of the dwelling (10.5m) and would feature a flat roof approx. 3m above the existing patio level (which would project further to the rear beyond the rear of the extension at its existing height). The external finish would consist of a Portland Limestone clad finish.
- 3.3 The first floor element would consist of a 3m deep projection for a width of 3.82m, projecting 0.45m beyond the existing flank wall. The first floor element would feature a hipped roof design that would be set lower than the ridge of the main dwelling, and would have an external finish of white render to match the existing dwelling.



**Figure 2: Existing Ground and First Floor Plans**



**Figure 3: Proposed Ground and First Floor Plans**

## **4 RELEVANT PLANNING HISTORY**

4.1 The relevant planning history relating to the application site is summarised as follows;

- 90/00997/FUL – Single storey side/rear extension – Permitted
- 96/00942/FUL – Two storey front and side extension – Permitted
- 21/02213/FULL6 – Part one/two storey rear extension - Refused

## **5 CONSULTATION SUMMARY**

### **A) Statutory**

No Statutory Consultations were received.

### **B) Local Groups**

No comments were received from local groups.

### **C) Adjoining Occupiers**

The following comments were received from local residents;

Impact on neighbouring property (Addressed in Para 7.2);

- Concerns about impact on light to our solar panels, solar water heating system and window on our staircase.
- Would want assurances that any effect of demolition of the existing studio would not harm our property / any effects would be fully remedied and that a suitable water escape system should be put in place etc.
- Concerns over impact on foundations and would require a full inspection before any work commences.
- Revised plans move the extension further from our house and reduce the effect on the light, but impact on our solar panels etc should be considered.

## **6 POLICIES AND GUIDANCE**

6.1 Section 70(2) of the Town and Country Planning Act 1990 (as amended) sets out that in considering and determining applications for planning permission the local planning authority must have regard to:-

- (a) the provisions of the development plan, so far as material to the application,
- (b) any local finance considerations, so far as material to the application, and
- (c) any other material considerations.

6.2 Section 38 (6) of the Planning and Compulsory Purchase Act (2004) makes it clear that any determination under the planning acts must be made in accordance with the development plan unless material considerations indicate otherwise.

6.3 The development plan for Bromley comprises the London Plan (March 2021) and the Bromley Local Plan (2019). The NPPF does not change the legal status of the development plan.

6.4 The application falls to be determined in accordance with the following policies:-

#### 6.5 **National Policy Framework 2019**

#### 6.6 **The London Plan**

D1 London's form and characteristics

D4 Delivering good design

D5 Inclusive design

#### 6.7 **Bromley Local Plan 2019**

6 Residential Extensions

8 Side Space

37 General Design of Development

44 Areas of Special Residential Character

123 Sustainable Design and Construction

#### 6.8 **Bromley Supplementary Guidance**

Supplementary Planning Guidance 1 - General Design Principles

Supplementary Planning Guidance 2 - Residential Design Guidance

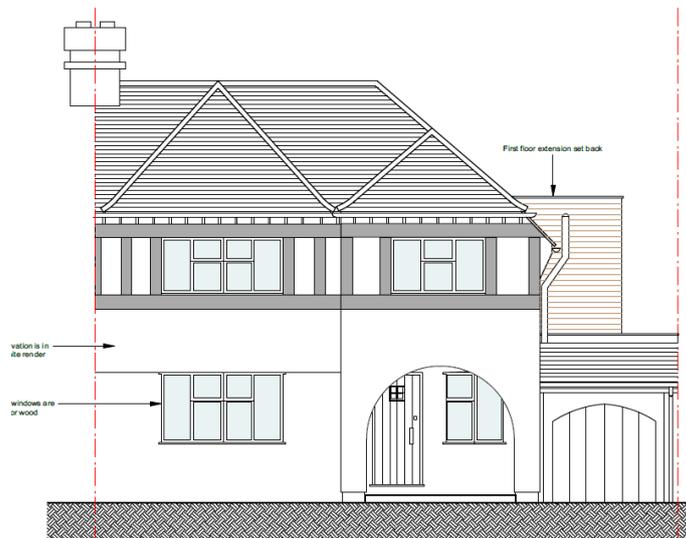
### **7 ASSESSMENT**

#### 7.1 Design, Layout and Scale – Acceptable

7.1.1 The proposed rear extension would project 4m in depth at ground floor level for the full width of the property. The additional bulk is not considered overly excessive and would be partly mitigated by the removal of the existing rear projection which forms a study to accommodate the extension. The external materials of the single storey rear extension would consist of a Portland Limestone clad finish which would appear different to the host dwelling, however given its siting to the rear it would not appear overly prominent and on balance is not considered to result in any significant harm to the appearance of the host dwelling or the ASRC.

7.1.2 With regards to the proposed first floor element of the extension, this would have a smaller footprint than the ground floor element and its scale in terms of its footprint would be considered an acceptable addition to the host dwelling.

7.1.3 Concerns had been raised in the previous application regarding the design of this aspect, which features a flat roof design exceed the eaves which was considered to appear as an incoherent addition to the host dwelling, particularly given that it proposed materials out of keeping with the host building and ASRC.



**Figure 4: Design proposed in previous application (ref: 21/02213/FULL6)**

7.1.4 The design of the proposed extension has been altered from the previous scheme to be reduced in width, with the addition of a hipped roof profile. The design of the extension would appear in keeping with the host dwelling in terms of the hipped roof design which replicates the original hipped roof profile of the host dwelling, whilst the external materials would consist of white render to match the existing property.



**Figure 5: Proposed Front Elevation**

7.1.5 Policy 8 of the Bromley Local Plan requires a minimum 1 metre space from the side boundary of the site for proposals of two or more storeys in height to be retained for the full height and length of the flank wall of the building. This policy seeks to ensure "that the retention of space around residential buildings is essential to ensure adequate separation and to safeguard the privacy and amenity of adjoining residents. It is

important to prevent a cramped appearance and unrelated terracing from occurring. It is also necessary to protect the high spatial standards and level of visual amenity which characterise many of the Borough's residential areas.". A greater separation to the boundary would normally be expected for developments in areas where greater spatial standards exist.

- 7.1.6 It is noted that, the presence of the term 'normally' in the body of policy 8 implies a need for discretion in the application of the policy, having regard to several factors including the characteristics of the site and its surroundings, the precise nature of the proposal and the objectives of the policy as set out in the explanatory text.
- 7.1.7 As the site falls within the Petts Wood Area of Special Residential Character (ASRC), Policy 44 of the Bromley Local Plan requires developments to respect, enhance and strengthen the special and distinctive qualities of the ASRC.
- 7.1.8 The existing property abuts the boundary at ground floor level, with the proposed first floor element set above and therefore the development would not provide a 1m separation to the flank boundary for its entire width and length.
- 7.1.9 The width of the extension has been reduced from the previous scheme to provide a 2m separation to the flank boundary (increased from 1m proposed in the previous application), and its front elevation would be set back approx. 8.4m from the principle elevation.



Figure 6: Proposed 3D View

- 7.2.9 The design of the first floor extension would provide a subservient addition to the host dwelling given that the roof would be set lower than the main ridge height and that the front elevation would be set back significantly from the front. Furthermore, the flank wall of the extension would not project significantly beyond the existing flank wall and would provide a minimum 2m separation to the flank boundary.
- 7.2.10 Having regard to the design and scale of the proposed extension, the separation retained to the flank boundary at first floor level and the set back from the front of the property, it is therefore considered that the impact on the character, appearance and spatial standards would be minimal. As such, it is considered the development would not harm the appearance of the host dwelling and would not appear out of character or unduly harmful to the spatial standards and visual amenities of the ASRC.

## 7.2 Residential Amenity – Acceptable

- 7.2.1 The adjoining neighbour at No.47 does not benefit from any rear extensions and the proposed development would therefore project 4m beyond its rear at ground floor level, a reduction of 0.5m from the previously refused scheme.
- 7.2.2 Concerns have been raised in the previous scheme regarding the impact of the depth of the extension beyond the neighbour. However, the reduction to 4m would reduce the overall visual impact of the extension and a depth of 4m beyond the rear of the neighbour is not considered overly excessive.
- 7.2.3 Whilst it is accepted that the extension would have some impact on outlook, given the orientation of the properties it would not result in the loss of significant direct sunlight. Furthermore, the first floor element would be set sufficiently away to prevent any adverse impact from this element, and the flank wall of the extensions would be blank to prevent any impact in terms of overlooking.
- 7.2.4 Having consideration to the above, it is not considered that the level of harm to the outlook of the neighbouring property at No.47 would warrant a refusal of the application on these grounds, and that the overall impact on the amenities of this neighbour would be acceptable in this instance.
- 7.2.5 With regards to No.51 the proposed extension would not project beyond the rear of the existing rear projection which forms the study, and abuts the neighbours own projection adjacent to the boundary. As such, it is not considered that the ground floor element would result in any significant visual impact on this neighbour.
- 7.2.6 The first floor element would be set 2.04m from the shared boundary and would not project as far to the rear as the ground floor element. It is considered that the first floor would not project excessively beyond the rear of this neighbour and therefore it would not result in any unacceptable loss of light, outlook or visual amenity. Furthermore, it would not provide significant opportunities for overlooking above that which already exist given the flank wall would be blank.
- 7.2.7 It is noted that representations have been received regarding the potential impact on No.51, including the impact on their solar panels and their foundations. Matters relating to the foundations and demolition of the existing single storey structure would be addressed under building regulations / are civil issues and would not be considered

planning matters. With regards to the impact on light, the extension would be set back from the front and flank boundary and its ridge height would be lower than the main dwelling. Therefore, given this and the orientation of the site, it is not considered that it would result in any significant or unacceptable loss of light to the flank window or solar panels of No.51.

7.2.8 The proposed raised patio would project to the rear of the extension for a depth of 2.5m and would be raised to the same height as the existing patio. The patio would not extend beyond the rear projection of No.51 and would not provide any opportunities for overlooking given that it would not project beyond the rear of the neighbours building on the boundary. With regards to the impact on No.47, the height of the proposed patio would not exceed the height of the existing and therefore it would provide limited additional opportunities for overlooking compared to the existing. However, it would result in the patio projecting further to the rear where the existing fence is set lower and it is therefore considered appropriate for a condition to seek further details of the proposed boundary screening in order to ensure that the proposed patio would not result in any unacceptable impact upon the privacy of this neighbour.

7.2.5 Having regard to the *scale, siting and separation distance* of the development, it is not considered that a significant loss of amenity with particular regard to light, outlook, prospect and privacy would arise.

## **8 CONCLUSION**

8.1 Having had regard to the above it is considered that the development in the manner proposed is acceptable in that it would not result in a significant loss of amenity to local residents nor impact detrimentally on the character of the Area of Special Residential Character.

8.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

### **Recommendation: Permission**

#### **Conditions**

1. Time Period
2. Materials as set out within the application
3. Compliance with approved plans
4. Boundary screening for raised patio

**Any other planning condition(s) considered necessary by the Assistant Director of Planning**